ADDENDUM NO. 3

July 19, 2023

RE: **GS# 211-071**

Hayden Hall Renovations

Perkinston Campus

Mississippi Gulf Coast Community College

Perkinston, Mississippi A/E Project No. 22-050

FROM: Eley Guild Hardy Architects

1091 Tommy Munro Drive

Biloxi, MS 39532 (228) 594-2323

TO: Prospective Bidders



This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated June 27, 2023. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of 4 pages and 6 sheets of attachments.

GENERAL NOTES:

This addendum adds comment responses.

MECHANICAL INFORMATION & CLARIFICATIONS:

- 1. General: Open each fan coil and replace filter, wipe inside of casing, and clean coils with detergent and flush soap. Use bucket or other catch device to catch water, do not allow to go on floor. Dust damper and osa connection, secure osa duct to unit, set damper.
- 2. Controls may be other than Siemens, however, controls must tie in to the Desigo front end at the maintenance facility and contractor will coordinate with Siemens for the graphics and control sequences to allow staff to see the building, receive alarms and adjust setpoints of devices. The controls for the AHU-1, at a minimum, shall allow for complete control, graphics for the LWT, EWT, fan status, valve position for CW and HW, and OSA position damper position. Insure freezestat function with osa damper closing, HW valve to full open, and fan off. OSA damper closes when unit is off.
- 3. All condensate drains for all equipment will have P traps cleared and lines flushed apply anti-microbe growth tablets.
- 4. Contractor shall perform work on the first 3 units and leave available for inspection by A/E and staff. When approved for noted work then contractor will use those as a guide of performance for the remaining spaces.
- 5. Contractor shall endeavor to seal the chill water piping vapor tight with the foam glass insulation. Seal armaflex to foam glass connections carefully. Perform work on the first 3 units for review and once approved use as a guide for remaining work. The project intent is to stop condensation of the chill water system, and every effort shall be made to carefully install the products, per manufacturer's directions and mica plates, will be made.

RFIs:

Q: What is the thickness of the asphalt to be removed in Alternate #3?

A: The Asphalt design consist of 1.5" Top Layer, 1.5" Base Layer, 6" Aggregate Base, and Compacted Select Fill

Q: What is the thickness of the new concrete dumpster pad? Will it require an aggregate subbase? Please provide a detail.

A: See detail 10/A003 for thickness. 8" Concrete w/ #5 bars @ 12" O.C. EW, 4" Aggregate Base required.

Q: What is the thickness of the new concrete slab in Alternate #1?

A: See updated sheet attached.

Q: Sheets D100 and D101 indicate the Dorm Types by hatching patterns and by enlarged plan callouts. See Floor Plan Legend for the hatching. I believe the hatching is correct on Sheet D100, but I believe it is incorrect on Sheet D101. The enlarged details are correct. For example, Dorm Type B is indicated by Enlarged Plan 5/D105. However, on Sheet D101, the hatching indicates it is Dorm Type C. The same occurs for Dorm Type D on Sheet D101. Architect may want to provide the correct quantities of each dorm type for clarification.

A: Hatching has been corrected on sheet D101 attached.

Q: Sheet D101 2nd Floor Demo. The dorms marked by Enlarged Plan callout 3/D103 (Dorm Type D) look like Dorm Type B layouts. Please clarify.

A: Dorm type B and D are similar, however, dorm type D is an ADA room while dorm type B is not ADA. There is no dorm type D on 2nd floor.

Q: Sheet I200 shows typical dorm room wall tile. The Finish Schedule on Sheet I601 does not indicate wall tile, only paint. Please clarify extents of wall tile.

A: Dorm rooms have no wall tile. Drawings on I200 are from lobby & apartment. Details 1-4 are for the apartment bathroom. Details 5-8 are for the Lobby bathroom.

Q: Please advise if all dorm rooms be available at the same time.

A: Yes, all rooms will be available at the same time.

Q: Please clarify the scope / extents of work specified in Section 03 92 50 Repair Mortars.

A: Refer to sheets A100 & A101 for coating on covered walkways. The repair mortar is noted with a coating hatch on first floor. At 2nd floor patch 300 SF of failed existing coating.

Q: Section 09 67 23 – Resinous Flooring lists several resinous systems. Finish schedule appears to show Key resin, with no specific system listed. Please clarify system requested.

A: See updated spec section attached.

Q: Elevation 14/I200 & 13/I400 shows QTZ-1 for the wall panels & returns but sections 1 & 2/I400 shows QTZ-2. Elevation 10/I200 show QTZ-2 for counter top but section 4/I600 shows QTZ-1. Please verify all locations of QTZ-1 & QTZ-2 quartz materials
A: See attached for updated sheets.

Q: On elevation 10/I200 there is a PLAM-1 panel shown on the fascia between the 1st & 2nd floors. Should this be a PLAM-1 panel or WC-1 to match the fascia shown on elevation 13/I200?

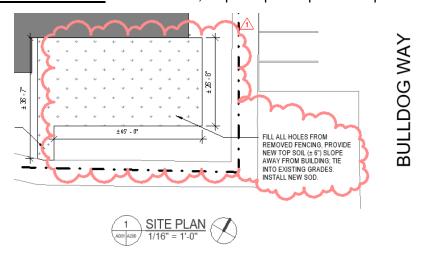
A: This should be WC-1. See updated sheet attached.

CHANGES TO PROJECT MANUAL:

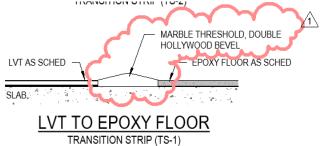
- 1. <u>Section 08 87 00 Architectural Window Films:</u> Add the following paragraph after the end of Paragraph 2.3:
 - "2.4 OPAQUE FILM
 - A. Vinyl-2 (Solid Color)
 - 1. Design based upon 3M[™] DI-NOC[™] Architectural Finishes
 - 2. DI-NOC Single Color
 - a. Color:
 - (1) Bulldog Head Color 1: HG-1026 High Gloss Silver
 - (2) "Mellinger" Color 2: PS-116
 - b. Thickness:
 - (1) Vinyl: 8 mils
 - (2)Liner: 6.2 mils
 - c. Adhesive: Clear
 - d. Opacity: Opaque
 - e. Overall Roll Width: 48" "

CHANGES TO DRAWINGS:

- 1. **Sheet D001 Demo Site Plan:** Delete sheet in its entirety and replace with the attached sheet "D001R1 Demo Site Plan".
- 2. **Sheet D101 Overall Demo Plan 2nd floor:** Delete sheet in its entirety and replace with the attached sheet "D101R1 Overall Demo Floor Plan 2nd Floor"
- 3. Sheet A001 Site Plan: Dtl 1 Site Plan, Replace partial portion of plan with below



- 4. <u>Sheet A002 Site Details Courtyard:</u> Delete sheet in its entirety and replace with the attached sheet "A002R1 Site Details Courtyard"
- 5. Sheet A003 Site Details (Alt #3): Delete sheet in its entirety and replace with the attached sheet "A003R1 Site Details (Alt #3)"
- 6. Sheet I102 Enlarged Dorm & Lobby Plans:
 - **a.** Flooring Transitions Detail; Replace "TS-1" Transition Detail with "TS-1" Detail below:



- 7. <u>Sheet I400 Millwork Elevations & Sections:</u> Delete sheet in its entirety and replace with the attached sheet "I40011 Millwork Elevations & Sections."
- 8. **Sheet I401 Millwork Elevations & Sections:** Delete sheet in its entirety and replace with the attached sheet "I401R1 Millwork Elevations & Sections."
- 9. **Sheet I600 Finish Schedules & Details:** Finish Key Floor/Base Description for Key Resin Floor Covering, add product type "Key-Chip-100", color "Tundra".

END OF ADDENDUM 3

