ADDENDUM NO. 2 NOVEMBER 13, 2023



#### CRISIS STABILIZATION UNIT JACKSON COUNTY BOARD OF SUPERVISORS PASCAGOULA, MISSISSIPPI

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated October 19, 2023. Acknowledge receipt of this Addendum in the space provided on the Proposal Form. Failure to do so may subject Bidder to disqualification.

# This Addendum consists of a total of 4 pages and 28 pages of attachments, for a total of 32 pages.

#### CLARIFICATIONS

- 1. See attached Pre-Bid Meeting Minutes with Attendees List from the Pre-Bid Meeting held on Wednesday, November 8, 2023 @ 9:30am.
- All questions (RFI's) on this project should be submitted in writing via email to the Architect, hoppy@allredstolarski.com and shannon@allredstolarski.com

#### PERTAINING TO THE SPECIFICATIONS

- 1. COVER SHEET
  - a. Change Bid Date to December 5, 2023
- 2. INDEX TO SPECIFICATIONS
  - a. Delete 07190 Roof and Wall Underlayment.
  - b. Delete 07400 Preformed Metal Panels
- 3. ADVERTISEMENT FOR BIDS
  - a. Change Bid Date to Tuesday, December 5, 2023.
- 4. ADD the attached Specification 02826 ORNAMENTAL METAL FENCE & GATE SYSTEM.
- 5. ADD the attached Specification 06650 SHOWER WALL PANELS.

#### PERTAINING TO THE DRAWINGS

- 1. Sheet TITLE SHEET
  - a. Delete TITLE SHEET, and replace with attached TITLE SHEET
  - b. Updated drawing index per Addendum
- 2. Sheet D.101R DEMOLITION PLAN
  - a. Delete Sheet D.101R and replace with attached sheet D.101R, See clouded areas for changes marked with Revision 2
  - b. Remove exist. door and frame from Conference Room B100.

- 3. Sheet D.102 REFLECTED CEILING DEMOLITION PLAN
  - a. Delete Sheet D.102 and replace with attached sheet D.102R, See clouded areas for changes marked with Revision 2
  - b. Remove Ceiling and Light Fixtures B.103
- 4. Sheet A.100R SITE RENOVATION PLAN
  - a. Delete Sheet A.100R and replace with attached sheet A.100R, See clouded areas for changes marked with Revision 2
  - b. Add privacy fence detail
- 5. Sheet A.101R RENOVATION AND ADDITION PLAN
  - a. Delete sheet A.101R and replace with attached sheet A.101R, See clouded areas for changes marked with Revision 2
  - b. New door and partition between Dayroom C118 and Corridor C127
  - c. Update exterior window sizes all Patient Rooms to 40"W x 48"H
  - d. Add 62x32 shower pan to restrooms C134, C137, C138, adjust opening dimensions, add solid surface-applied acrylic bath wall on (3) sides of shower
  - e. Add 48x36 shower pan to restroom C103, adjust opening dimensions, add solid surface-applied acrylic bath wall on (3) sides of shower
- 6. Sheet A.102R RENOVATION AND ADDITION FINISH PLAN
  - a. Delete sheet A102R and replace with attached sheet A.102R, See clouded areas for changes marked with Revision 2
  - b. New door and partition between Dayroom C118 and Corridor C127
- 7. Sheet A.104R RENOVATION AND ADDITION REFLECTED CEILING PLAN
  - a. Delete Sheet A.104R and replace with attached sheet A.104R, See clouded areas for changes marked with Revision 2
    - b. C102 Add exterior camera per Elec. drawings
    - c. C118 Update Light Fixture Type
    - d. C119 New Light Fixtures (not relocated)
    - e. C123 New ACT (not existing to be modified)
    - f. C125 New ACT (not existing to be modified)
    - g. C128 New Light Fixture (not relocated)
    - h. C153 New Light Fixture (not relocated)
    - i. C127 Add camera per Elec. Drawings
    - j. A140 Add exterior camera per Elec. drawings
- 8. Sheet A.105 RENOVATION AND ADDITION ROOF PLAN
  - a. Delete sheet A.105 and replace with attached sheet A.105R, See clouded areas for changes marked with Revision 2
  - b. Add rooftop mechanical units.
- 9. Sheet A.201 EXTERIOR RENOVATION AND ADDITION ELEVATIONS
  - a. Delete sheet A.201 and replace with attached sheet A.201R, See clouded areas for changes marked with Revision 2.
  - b. Update exterior window sizes all patient rooms to 40"W x 48"H
- 10. Sheet A.202R ENLARGED EXTERIOR RENOVATION AND ADDITION ELEVATIONS
  - a. Delete sheet A.202R and replace with attached sheet A.202R, See clouded areas for changes marked with Revision 2.
  - b. Update exterior window sizes all patient rooms to 40"W x 48" H

11. Sheet A.401R – ENLARGED RENOVATION AND ADDITION PLAN

- a. Delete sheet A.401R and replace with attached A.401R, See clouded areas for changes marked with Revision 2
- b. Update call out tag and dimensions for exterior windows in all patient rooms window type 'K'- 40"W x 48"H
- c. Add new door C118 and partition
- d. Add automatic door openers for doors C126B and C124
- e. Add 62x32 shower pan to restrooms C134, C137, C138, adjust opening dimensions, add solid surface-applied acrylic bath wall on (3) sides of shower
- f. Add 48x36 shower pan to restroom C103, adjust opening dimensions, add solid surface-applied acrylic bath wall on (3) sides of shower
- 12. Sheet A.402R ENLARGED RENOVATION AND ADDITION PLAN
  - a. Delete sheet A.402R and replace with attached A.402R, See clouded areas for changes marked with Revision 2
  - b. Update call out tag and dimensions for exterior windows in all patient rooms window type 'K'- 40"W x 48"H
  - c. Add 62x32 shower pan to restroom C138, adjust opening dimensions, add solid surface-applied acrylic bath wall on (3) sides of shower
- 13. Sheet A.403R INTERIOR ELEVATIONS
  - a. Delete sheet A.403R and replace with attached A.403R, See clouded areas for changes marked with Revision 2
  - b. Update call out tag and dimensions for exterior window in patient room – window type 'K'- 40"W x 48"H (4/A.403R)
  - c. Update dayroom elevation (13/A.403R) for new location of door C118
  - d. Update dayroom elevation (14/A.403R) for new location of door C118 and reception desk millwork
- 14. Sheet A.405R ENLARGED RESTROOM PLANS AND DETAILS
  - a. Delete sheet A.405R and replace with attached A.405R, See clouded areas for changes marked with Revision 2
  - b. Update dimensions of shower enclosure in restrooms C103, C134, C137, C138 add notes regarding shower pan and shower wall finish
  - c. Add Shower Detail 8/A.405R
- 15. Sheet A.600R OPENING SCHEDULE AND DETAILS
  - a. Delete sheet A.600R and replace with attached A.600R, See clouded areas for changes marked with Revision 2
  - b. Door type B update glazing type to CSG add note that this door will require tamper resistant blinds to be attached to the corridor side of the window
  - c. Add note 3 To receive window shade see window type elevation tags.
  - d. Window type 'A' update asterisk note this window will receive standard window shade
  - e. Window type 'B' update asterisk note this window will receive standard window shade
  - f. Window type 'C' update glass type to CSG update asterisk note this window will receive tamper resistant blinds on the corridor side of the window

- g. Add Window 'K'- this window will have privacy film applied to the glazing and tamper resistant blinds
- 16. Sheet A.601R DOOR SCHEDULE
  - a. Delete sheet A.601R and replace with attached sheet A601R, See clouded areas for changes marked with Revision 2.
  - b. C106 Update glazing type (GL-3)
  - c. C107 Update glazing type (GL-3)
  - d. C116 Update glazing type (GL-3)
  - e. Add door C118
  - f. C120 Change door type (D, GL-3)
  - g. C121A Update glazing type (GL-3)
  - h. C121B Update glazing type (GL-3)
  - i. C122 Update glazing type (GL-3)
  - j. C126A Update detail callouts (6/A603, 7/A603, frame type, glazing type (GL-3)
  - k. C126B Update detail callouts (4/A603, 5/A603, frame type, glazing type (GL-3), add ADA Door Opener
  - I. C126C Update detail callouts (6/A603, 7/A603, frame type, glazing type (GL-3)
  - m. C127A Update frame material type (Alum) and detail callouts (1/A603R, 2/A603R), Update Glazing type (GL-2)
  - n. C127b Update frame material type (Alum) and detail callouts (1/A603R, 2/A603R), Update Glazing type (GL-2)
  - o. C127c Update frame material type (Alum) and detail callouts (1/A603R, 2/A603R), Update Glazing type (GL-2)
  - p. C128 Update glazing type (GL-3)
  - q. C129 Update glazing type (GL-3)
  - r. C134 Update frame type (2)
  - s. C135 Update frame type (2)
  - t. C136 Add HM framed opening
  - u. C137 Update frame type (2)
  - v. C138 Update frame type (2)
  - w. C144 Update glazing type (GL-3)
  - x. C145 Update door type (B), glazing type (GL-3)
  - y. C155- Update glazing type (GL-3)
- 17. Sheet A.603R OPENING DETAILS
  - a. Delete sheet A603R and replace with attached sheet A.603R, See clouded areas for changes marked with Revision 2.
  - b. Update 1/A603R to Aluminum Frame
  - c. Update 2/A603R to Aluminum Frame
  - d. Update 4/A603R to HM Frame grouted solid
  - e. Update 11/A603R to HM Frame grouted solid

End of Addendum #2 (plus 20 pages of attachments)



November 10, 2023

CRISIS STABILIZATION UNIT Jackson County Board of Supervisors Pascagoula, Mississippi

#### Pre-Bid Meeting held Wednesday, November 8, 2023 @ 9:30 am

Present: See attached Sign-In Sheet

- Announced the bid date Tuesday, November 21, 2023 at 12:00 p.m. in the Jackson County Board of Supervisors Board Room at the Jackson County Services Complex, 2915 Canty Street, Pascagoula, MS. Bids are to be submitted to Suite R Land Records Office. Suggested that bidders allow themselves <u>plenty</u> of time, to find parking, and submit their bid package before 12:00 p.m. No bid will be accepted after the official clock strikes 12:00 noon (CT). Bids will be opened and read aloud at 1:00 pm.
- 2. Recommended that the contractor carefully read the Instructions to Bidders, in the specifications. The MS Certificate of Responsibility number must be on the exterior of the bid envelope. Contractors must take care to fill out the Bid Form properly. The contractor must have working knowledge of all site conditions.
- 3. Bids are held good for a period of Sixty (60) days after the bid date.
- 4. All bid protests, or presentation of bid errors, must be sent to the Owner within twenty-four (24) hours after the time of the bid opening.
- 5. The last allowable time for issuing addenda is Thursday, November 16, 2023. Requested that contractors submit all questions or concerns by end of day Tuesday, November 14, 2023.
- 6. Noted special requirements for out of state bidders.
- 7. Noted that there is a \$250/day liquidated damages penalty.
- 8. Anyone requiring access to the building, after the Pre-Bid Conference, contact and coordinate time with Kelly Samples (228) 219-7726 or Lorie Qualls (228) 282-2784.
- 9. Retainage will be released and the warranties will begin, upon completion and acceptance of the designated portions of the project by the Owner and the architect.

- 10. Contractor is responsible for safety, vandalism, and security at the work site. Discussed storage/staging areas (west parking lot), locations to be coordinated and confirmed with the Owner. Construction fencing will be required. Also, temp walls will be required in the corridors to separate the CSU construction area from the Department of Health.
- 11. The Contractor shall be responsible for any damages to existing construction, site work, landscaping, paving, etc. that are to remain, and shall restore all damaged areas to their original condition. The contractor shall take digital pictures of all proposed work areas and distribute them to the Owner and the Architect, prior to beginning work.
- 12. Discussed that the project site will be occupied during construction and that all construction must be coordinated with the Owner to limit disruption to regular business. Weekend work is permissible and is to be coordinated in advance with the Owner. Normal work hours are Monday thru Friday 8am to 5pm.
- 13. Scope of work includes but is not limited to the following:
  - Selective demolition and renovation of interior building, including walls, ceilings, finishes, doors & hardware, mechanical, electrical and plumbing, etc.
  - New addition as indicated, including new walls, ceilings, finishes, doors & hardware, mechanical, electrical, plumbing, millwork, windows, roofing, etc.
  - Associated site work as indicated.
- 14. Attendees toured the building to review the areas of work prior to adjourning.

#### IT WAS AGREED TO MOVE THE BID DATE TO TUESDAY, DECEMBER 5, 2023.

Cc: Attendees, Brian Fulton – County Administrator



November 8, 2023

CRISIS STABILIZATION UNIT Jackson County Board of Supervisors Pascagoula, Mississippi

#### Pre-Bid Meeting held Wednesday, November 8, 2023 @ 9:30 am

Name	Representing	Email Address
HOPPY ALCOLEN	ASA	Hoppy CAllred Stelarski.com
Lorie Qual		Lorie. Qualls PMSDH. MS. GOU
Matthew Hoza	1 JCBOS	matthew_hosey@co.jackson.us.us
Michael White	elegal MSDH	Michael. Whileheada msch usgo
Jennifer B		jennifer Callredstolarski.com
Tim Stewar	27 Stewart Con	6t. STEWARTCONST 93 CYAHOD. COm
Kelly Sample	5 JCB05	Kelly-Samples () co. jackson . Ms. US

#### SECTION 02.826 ORNAMENTAL METAL FENCE & GATE SYSTEM

#### PART 1 GENERAL

#### 1.01 WORK INCLUDED

A. The Contractor shall provide all labor, materials and appurtenances necessary for installation of the 8' tall ornamental welded fence and gate system.

#### 1.02 RELATED WORK

A. Section 03.300 Cast-in-Place Concrete

#### 1.03 SYSTEM DESCRIPTION

A. The manufacturer shall supply a total ornamental metal fence and gate system of the design, style, strength and picket interspace defined herein. The system shall include all components (i.e., gate posts, pickets, rails, gate ends and hardware) required.

#### 1.04 QUALITY ASSURANCE

A. The contractor shall provide laborers and supervisors who are thoroughly familiar with the type of construction involved and the materials and techniques specified.

#### 1.05 REFERENCES

- A. ASTM A526 Steel Sheet Zinc-Coated (Galvanized by the Hot Dip Process)
- B. ASTM B-177 Salt Spray Testing
- C. ASTM D523 Test Method for Specular Gloss.
- D. ASTM D714 Test Method for Evaluating Degree of Blistering in Paint.
- E. ASTM D822 Practice for Conducting Tests on Paint and Related Coatings and Materials using Filtered Open-Flame Carbon-Arc Light and Water Exposure Apparatus.
- F. ASTM D1654 Test Method for Evaluation of Painted or Coated Specimens Subjected to Corrosive Environments.
- G. ASTM D2244 Test Method for Calculation of Color Differences from Instrumentally Measured Color Coordinates.
- H. ASTM D2794 Test Method for Resistance of Organic Coatings to the Effects of Rapid Deformation (Impact).
- I. ASTM D3359 Test Method for Measuring Adhesion by Tape Test.

#### 1.06 SUBMITTAL

A. The manufacturer's literature shall be submitted prior to installation.

#### 1.07 PRODUCT HANDLING AND STORAGE

A. Upon receipt at the job site, all materials shall be checked to ensure that no damages occurred during shipping or handling. Materials shall

be stored in such a manner as to ensure proper ventilation and drainage and to protect against damage, weather, vandalism and theft.

#### PART 2 MATERIALS

2.01 MANUFACTURER

- A. The ornamental metal fence and gate system shall conform to Montage II, Majestic design, extended picket bottom rail treatment, 3-Rail Style, manufactured by Ameristar Fence Products, Inc., Tulsa, Oklahoma;
- B. Approved equal.

#### 2.02 MATERIAL REQUIREMENTS

- A. Steel material for fence panels and posts shall conform to the requirements of ASTM A653/A653M, with a minimum yield strength of 45,000 psi and a minimum zinc (hot-dip galvanized) coating weight of 0.90 oz/ft2, Coating Designation G-90.
- B. Material for pickets shall be 1" square x 14 Ga. tubing. The rails shall be steel channel, 1.75" x 1. 75" x .105". Picket holes in the rail shall be spaced 4.715" o.c. For fence systems up to and including 6 feet tall, posts shall be a minimum of 2-1/2" square x 12 Ga. For fence systems 7 feet tall and 8' tall, posts shall be a minimum of 3" square x 12 Ga. Gate posts shall meet the minimum requirements of Table 1.
- C. Wind/Privacy screening equal to Commercial Open 600 Series by FenceScreen, Inc. Size as per Drawings.

#### 2.03 GATE HARDWARE

- A. Gate hardware shall be heavy-duty, industrial grade, to include box hinges and gate springs, minimum of three (3) per gate. Covered Walkway Gates shall have 4" square center posts continuous to structure above (+/- 8'-8" AFF), 12" panic plates, and expanded metal panels (installed so that panic devices cannot be actuated from the opposite side of the gates) extending at least 2' beyond the gate openings.
- B. Gate hardware for standard double gates shall be heavy-duty, industrial grade, to include box hinges and gate springs, minimum of three (3) per gate. <u>Heavy duty</u> center cane rod shall have forked latch and receiver prepared for use of a padlock. Cane rod shall engage +/-6" into a metal sleeve set in a 12" diameter by 16" deep concrete pad.
- C. Single leaf gates shall have forked latch and receiver prepared for use of a padlock.

2.04 FABRICATION

- A. Pickets, rails and posts shall be pre-cut to specified lengths. Rails shall be pre-punched to accept pickets.
- B. Pickets shall be inserted into the pre-punched holes in the rails and shall be aligned to standard spacing using a specially calibrated

alignment fixture. The aligned pickets and rails shall be joined at each picket-to-rail intersection by Ameristar's proprietary fusion welding process, thus completing the rigid panel assembly.

- C. The manufactured panels shall be subjected to an inline electrodeposition coating (E-Coat Inside & Out) process consisting of a multistage pretreatment/wash (with zinc phosphate), followed by a duplex application of an epoxy primer and an acrylic topcoat. The minimum cumulative coating thickness of epoxy and acrylic shall be 2 mils (0.058 mm). The color shall be Black. The coated panels shall be capable of meeting the performance requirements for each quality characteristic shown in Table 2.
- D. Gates shall be fabricated using welded ornamental panel material and gate ends having a 1-3/4" square cross-sectional size. All rail and upright intersections shall be joined by welding. All picket and rail intersections shall also be joined by welding.

#### PART 3 EXECUTION

#### 3.01 PREPARATION

A. All new installation shall be laid out by the Contractor in accordance with the construction plans.

#### 3.02 INSTALLATION

- A. Fence posts shall be set according to Table 3, plus or minus 1/2". Fence panels shall be attached to posts with brackets supplied by the manufacturer. Gate posts shall be spaced according to the gate openings specified in the construction plans.
- B. Gates shall be installed according to the style and sizes indicated on the drawings and shall be installed plumb and level. Any required gate stops will be installed by the contractor. To assure alignment of any padlock provisions or strikes, attachment will be done in the field. When installation is complete the contractor will be responsible for lubricating the hinges, rollers and other gate hardware.

3.03 CLEANING

A. The Contractor shall clean the jobsite of excess materials; post hole excavations shall be scattered uniformly away from post(s).

	Table 1 – Minimum S	Sizes for Montage II Pos	sts								
Fence Posts	Panel Height										
2-1/2" x 12 Ga.	Up to & Including 6' He	Up to & Including 6' Height									
3" x 12 Ga.	Over 6' Up to & Includ	Over 6' Up to & Including 8' Height									
		Gate Height									
Gate Leaf	Up to & Including 4'	Over 4' Up to &	Over 6' Up to &								
		Including 6'	Including 8'								
Up to 4'	2-1/2" x 12 Ga.	3" x 12 Ga.	3" x 12 Ga.								
4'1" to 6'	3" x 12Ga.	4" x 11 Ga.	4" x 11 Ga.								
6'1" to 8'	3" x 12 Ga.	4" x 11 Ga.	6" x 3/16"								
8'1" to 10'	4" x 11 Ga.	6" x 3/16"	6" x 3/16"								
10'1" to 12'	4" x 11 Ga.	6" x 3/16"	6" x 3/16"								
12'1" to 14'	4" x 11 Ga.	6" x 3/16"	6" x 3/16"								
14'1" to 16'	6" x 3/16"	6" x 3/16"	6" x 3/16"								

Table 2 – Coating Performance Requirements									
Quality	ASTM Test Method	Performance Requirements							
Characteristics									
Adhesion	D3359 – Method B	Adhesion (Retention of Coating) over 90% of test							
		area (Tape and knife test).							
Corrosion	B117, D714 & D1654	Corrosion Resistance over 1,500 hours (Scribed							
Resistance		per D1654; failure mode is accumulation of 1/8"							
		coating loss from scribe or medium #8 blisters).							
Impact Resistance	D2794	Impact Resistance over 60 inch lb. (Forward							
		impact using 0.625" ball).							
Weathering	D822 D2244, D523 (60°	Weathering Resistance over 1,000 hours (Failure							
Resistance	Method)	mode is 60% loss of gloss or color variance of							
		more than 3 delta-E color units).							

Table 3 – Montage II – Post Spacing By Bracket Type												
Span	For INVINCIBLE® For CLASSIC, GENESIS, & MAJESTIC											
	8' Nomina	l (91-1/4"	8' Nomina	8' Nominal (92-5/8" Rail)								
	Rail)											
Post Size	2-1/2" 3" 2-1/2" 3" 2-1/2" 3" 2-1/2" 3											
Bracket Type	Industrial Industrial Industrial Industrial Industrial											
	Flat Mount Universal Universal Flat Mount Swivel											
	(BB	301)	(BB302)	(BB303)	(BB	301)	(BB304)*					
Post Settings         94-1/2"         95"         96"         96-1/2"         96"         96-1/2"         *96"         *96"         *96"           ± 1/2" O.C.         1/2"         96"         96-1/2"         96"         96-1/2"         *96"         *96"												
*Note: When using BB304 swivel brackets on either or both ends of a panel installation, care must be taken to ensure the spacing between post and adjoining pickets meets applicable codes. This will require trimming one or both ends of the panel.												

END OF SECTION

02826

#### SECTION 06.650 SHOWER WALL PANELS

- PART 1 GENERAL
  - 1.01 SUMMARY
    - A. Section includes:
      - 1. Shower Wall Panels
    - B. Related sections:
      - 1. Section 06200 Finish carpentry
      - 2. Division 15 Plumbing
  - 1.02 SUBMITTALS
    - A. Shop drawings: Indicate dimensions, component sizes, fabrication details, attachment provisions and coordination requirements with adjacent work.
    - B. Samples: Submit minimum 2" x 2" (50mm x 50mm) samples. Indicate full range of color and pattern variation. Approved samples will be retained as standards for work.
    - C. Colors as selected by Owner from manufacturer's full range.
    - D. Product data: Indicate product description, fabrication information and compliance with specified performance requirements.
    - E. Maintenance data: Submit manufacturer's care and maintenance data, including repair and cleaning instructions. Include in project close-out documents.
  - 1.03 QUALITY ASSURANCE
    - A. Allowable tolerances:
      - 1. Variation in component size: +/- 1/8" (3mm).
      - 2. Location of openings: +/- 1/8" (3mm) from indicated location.

#### 1.04 DELIVERY, STORAGE AND HANDLING

- A. Deliver no components to project site until areas are ready for installation. Store components indoors prior to installation.
- B. Handle materials to prevent damage to finished surfaces. Provide protective coverings to prevent physical damage or staining following installation for duration of project.

#### 1.05 WARRANTY

- A. Provide manufacturer's 10-year warranty against defects in materials. Warranty shall provide material and labor to repair or replace defective materials.
- PART 2 PRODUCTS
  - 2.01 MANUFACTURERS A. Tower Industries, Inc., or approved equal.

- 2.02 MATERIALS
  - A. Material: Meridian Solid Surface Wall Panels, as manufactured by Tower Industries.
  - B. Shower walls: 1/4" (6mm) thick, standard panels of solid polymer material. Color to be selected from manufacturer's full range.
  - C. Wall cladding/wainscoting: 1/4" (6mm) thick, with butt joints sealed with color-matching silicone sealant; adhesively applied to solid substrates.

#### 2.03 ACCESSORIES

- A. Joint adhesive: Manufacturer's standard two-part adhesive kit to create inconspicuous, nonporous joints, with a chemical bond.
- B. Panel Adhesive: Manufacturer's standard neoprene-based panel adhesive meeting ANSI A 136.1-1967 UL® listed.
- C. Sealant: Manufacturer's standard mildew-resistant, FDA/UL® recognized silicone sealant in color-matching or clear formulations.

#### 2.04 FABRICATION

- A. For warranty coverage, fabricator/installer shall be approved by solid polymer manufacturer.
- B. Fabricate components in shop to greatest extent practical to sizes and shapes indicated, in accordance with approved shop drawings and solid polymer manufacturer requirements.
- C. Form joints between components using manufacturer's standard joint adhesive. Joints shall be inconspicuous in appearance and without voids. Attach 2" (50mm) wide reinforcing strip of solid polymer material under each joint.
- D. Provide holes and cutouts for plumbing and bath accessories as indicated on the drawings.
- E. Rout and finish component edges to a smooth, uniform finish. Rout all cutouts, then sand all edges smooth. Repair or reject defective or inaccurate work.
- F. Finish: All surfaces shall have uniform finish.1. Matte, with a gloss rating of 5-20.

#### PART 3 EXECUTION

#### 3.01 JOB MOCK-UP

- A. Prior to final approval of shop drawings, erect one full-size mock-up of each component at project site for Architect review.
- B. Should mock-up not be approved, rework or remake until approval is secured. Remove rejected units from project site.
- C. Approved mock-ups shall remain as part of finished work.

#### 3.02 INSTALLATION

A. Install components plumb and level, in accordance with approved shop drawings and product installation details.

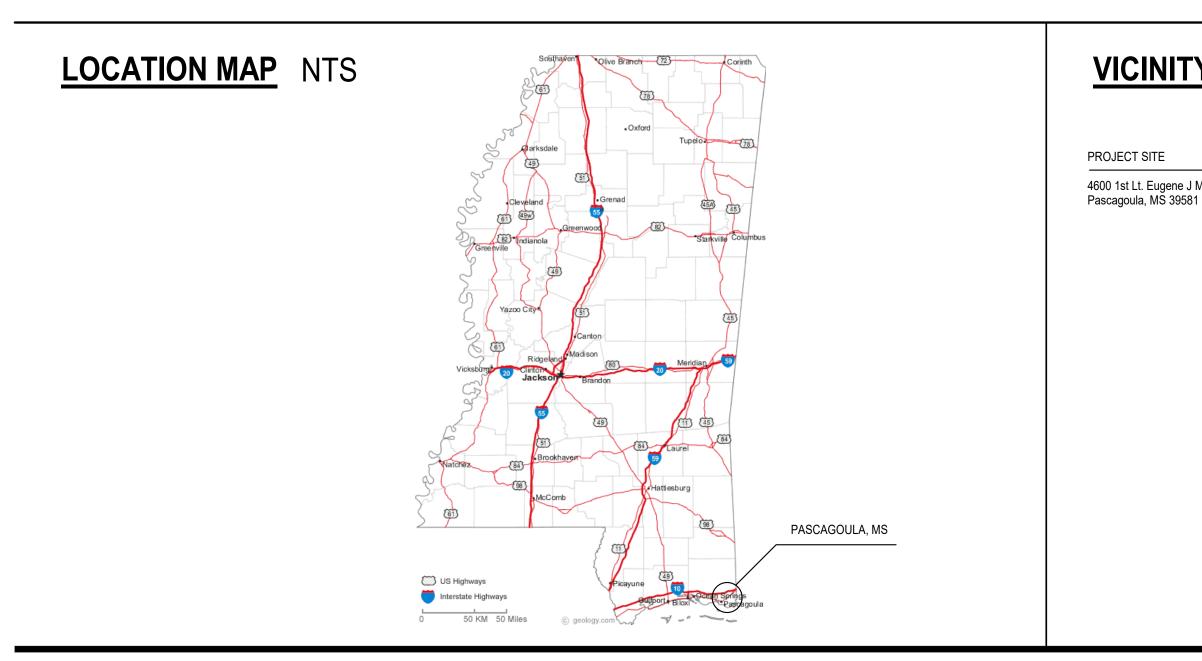
SHOWER WALL PANELS 06650-2/3

- B. Form field joints using manufacturer's recommended adhesive, with joints inconspicuous in finished work. Keep components and hands clean when making joints.
- C. Keep components and hands clean during installation. Remove adhesives, sealants and other stains. Components shall be clean on Date of Substantial Completion.
- D. Make plumbing connections in accordance with Division 15, Mechanical.

END OF SECTION

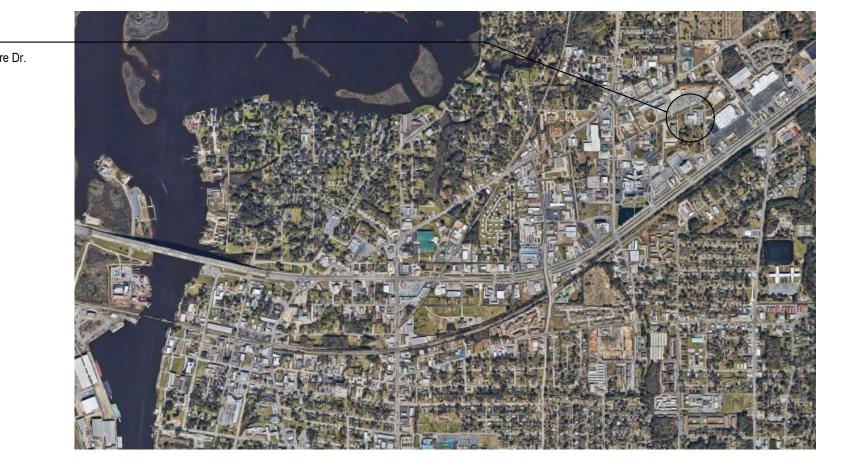
# **CRISIS STABILIZATION UNIT**

# JACKSON COUNTY BOARD OF SUPERVISORS 4600 1st Lt. Eugene J Majure Dr., Pascagoula, MS 39581



# VICINITY MAP NTS

#### PROJECT SITE 4600 1st Lt. Eugene J Majure Dr.



D100 D101R D102R D103	SITE DEMOLITION PLAN DEMOLITION PLAN REFLECTED CEILING DEMOLITION PLAN EXISTING ROOF PLAN
D201	EXTERIOR DEMOLITION ELEVATIONS
A100R A101R A102R A103R A104R A105R A201R A202R A203 A301R A302R A303R A401R A402R A403R	INDEX - ARCHITECTURAL SITE RENOVATION PLAN RENOVATION AND ADDITION PLAN RENOVATION AND ADDITION FINISH PLA ROOM FINISH SCHEDULE RENOVATION AND ADDITION REFLECTE RENOVATION AND ADDITION ROOF PLA EXTERIOR RENOVATION AND ADDITION ENLARGED EXTERIOR RENOVATION AN RENOVATION AND ADDITION 3D VIEWS BUILDING ADDITION SECTIONS WALL SECTIONS WALL SECTION DETAILS ENLARGED RENOVATION AND ADDITION ENLARGED RENOVATION AND ADDITION INTERIOR ELEVATIONS
A404R A405R A600R A601R A602R A603R	INTERIOR ELEVATIONS ENLARGED RESTROOM PLANS AND DE OPENING SCHEDULE & DETAILS DOOR SCHEDULE DOOR HARDWARE SETS OPENING DETAILS INDEX - PLUMBING
P001 PD101 PD102 P101R P102R P501R P601R	PLUMBING ABBREVIATIONS, LEGENDS EXISTING PLUMBING FLOOR PLAN PLUMBING DEMOLITION FLOOR PLAN WASTE AND VENT RENOVATION FLOOI WATER RENOVATION PLAN PLUMBING DETAILS PLUMBING SCHEDULES INDEX - MECHANICAL
M001 MD101 MD102 M101R M102R M103 M501 M502 M601 M602R	MECHANICAL LEGENED AND ABBREVIA EXISTING MECHANICAL FLOOR PLAN MECHANICAL DEMOLITION FLOOR PLAN MECHANICAL RENOVATION FLOOR PLAN MECHANICAL RENOVATION ROOF PLAN MECHANICAL PIPING RENOVATION PLAN MECHANICAL DETAILS MECHANICAL DETAILS MECHANICAL SCHEDULES MECHANICAL SCHEDULES MECHANICAL SCHEDULES
E000 E001R E101 E202 E203 E301 E302 E303 E304 E305R E306 E307 E308R E309 E310	ELECTRICAL LEGEND & LUMINAIRE SCI ELECTRICAL DETAILS & PANEL SCHEDI ELECTRICAL SITE DEMOLITION PLAN NEW ELECTRICAL SITE PLAN OVERALL ELECTRICAL DEMOLITION PLA PARTIAL ELECTRICAL DEMOLITION PLA PARTIAL ELECTRICAL DEMOLITION PLA OVERALL NEW ELECTRICAL REFERENC PARTIAL NEW LIGHTING PLAN PARTIAL NEW LIGHTING PLAN PARTIAL NEW LIGHTING PLAN PARTIAL NEW LIGHTING PLAN PARTIAL NEW POWER & COMMUNICAT PARTIAL NEW POWER & COMMUNICAT PARTIAL NEW FIRE ALARM & MECHANI PARTIAL NEW FIRE ALARM & MECHANI
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G000

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G002

G003

FD101R

FP101R

FP501

LS101

C1.0

C2.0 C3.0

C4.0

C5.0 C6.0

S100A

S100B S101A

S101B

S103R S104

S102

S105

S201

S202

S301

S302

S303

S304

D100

LIFE SAFETY PLAN CIVIL NOTES EXISTING CONDITIONS AND DEMOLITION PLAN SITE PLAN **GRADING & DRAINAGE PLAN** UTILITY PLAN CIVIL DETAILS

TITLE SHEET

STRUCTURAL GENERAL NOTES B SCHEDULE OF SPECIAL INSPECTIONS A FOUNDATION FRAMING PLAN ROOF FRAMING PLAN CMU DETAILS CMU DETAILS FOUNDATION DETAILS FOUNDATION DETAILS STEEL DETAILS STEEL DETAILS STEEL DETAILS STEEL DETAILS

SITE DEMOLITION PLAN PLAN EILING DEMOLITION PLAN OF PLAN MOLITION ELEVATIONS

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INDEX - GENERAL

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**INDEX - FIRE PROTECTION** EXISTING FIRE PROTECTION FLOOR PLAN FIRE PROTECTION RENOVATION FLOOR PLAN

FIRE PROTECTION DETAILS AND SCHEDULES **INDEX - LIFE SAFETY** 

**INDEX - CIVIL** 

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LEGENED AND ABBREVIATIONS HANICAL FLOOR PLAN DEMOLITION FLOOR PLAN RENOVATION FLOOR PLAN **RENOVATION ROOF PLAN** PIPING RENOVATION PLAN DETAILS DETAILS SCHEDULES SCHEDULES INDEX - ELECTRICAL

LEGEND & LUMINAIRE SCHEDULE DETAILS & PANEL SCHEDULES SITE DEMOLITION PLAN RICAL SITE PLAN

ECTRICAL DEMOLITION REFERENCE PLAN CTRICAL DEMOLITION PLAN CTRICAL DEMOLITION PLAN W ELECTRICAL REFERENCE PLAN W LIGHTING PLAN

POWER & COMMUNICATIONS PLAN **POWER & COMMUNICATIONS PLAN** POWER & COMMUNICATIONS PLAN

V FIRE ALARM & MECHANICAL SYSTEMS PLAN FIRE ALARM & MECHANICAL SYSTEMS PLAN FIRE ALARM & MECHANICAL SYSTEMS PLAN

# Ski



PROJ #: 2022-43

CRISIS STABILIZATION UNIT

JACKSON COUNTY BOARD OF SUPERVISORS

4600 1st Lt. Eugene J Majure Dr., Pascagoula, MS 3958

**DATE:** 10/19/2023

SET TYPE **BID DRAWINGS** ADDENDUM #1 11/6/2023 ADDENDUM #2 11/13/2023

# **PROJECT TEAM**

ARCHITECT ALLRED STOLARSKI ARCHITECTS 711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HOPPY ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

# CIVIL

LIEB ENGINEERING COMPANY 1290 MAIN STREET, SUITE E DAPHNE, AL 36526 **T (**251) 978-9779 CHRIS LIEB, PE - CIVIL ENGINEER CLIEB@LIEBENGINEERING.COM

### STRUCTURAL DEAN STRUCTURAL ENGINEERS, INC

1520 29TH AVENUE, SUITE 29 GULFPORT, MS 39501 **T** (228) 284-5910 HARLAN G. DEAN , III, P.E., S.E. hdean@deaneng.com

#### **MECHANICAL / PLUMBING** ENGINEERING RESOURCE GROUP, INC

350 EDGEWOOD TERRACE DRIVE JACKSON, MS 39206 **T** (601) 362-3552 CHAD MOORE, P.E. cmoore@ergms.com

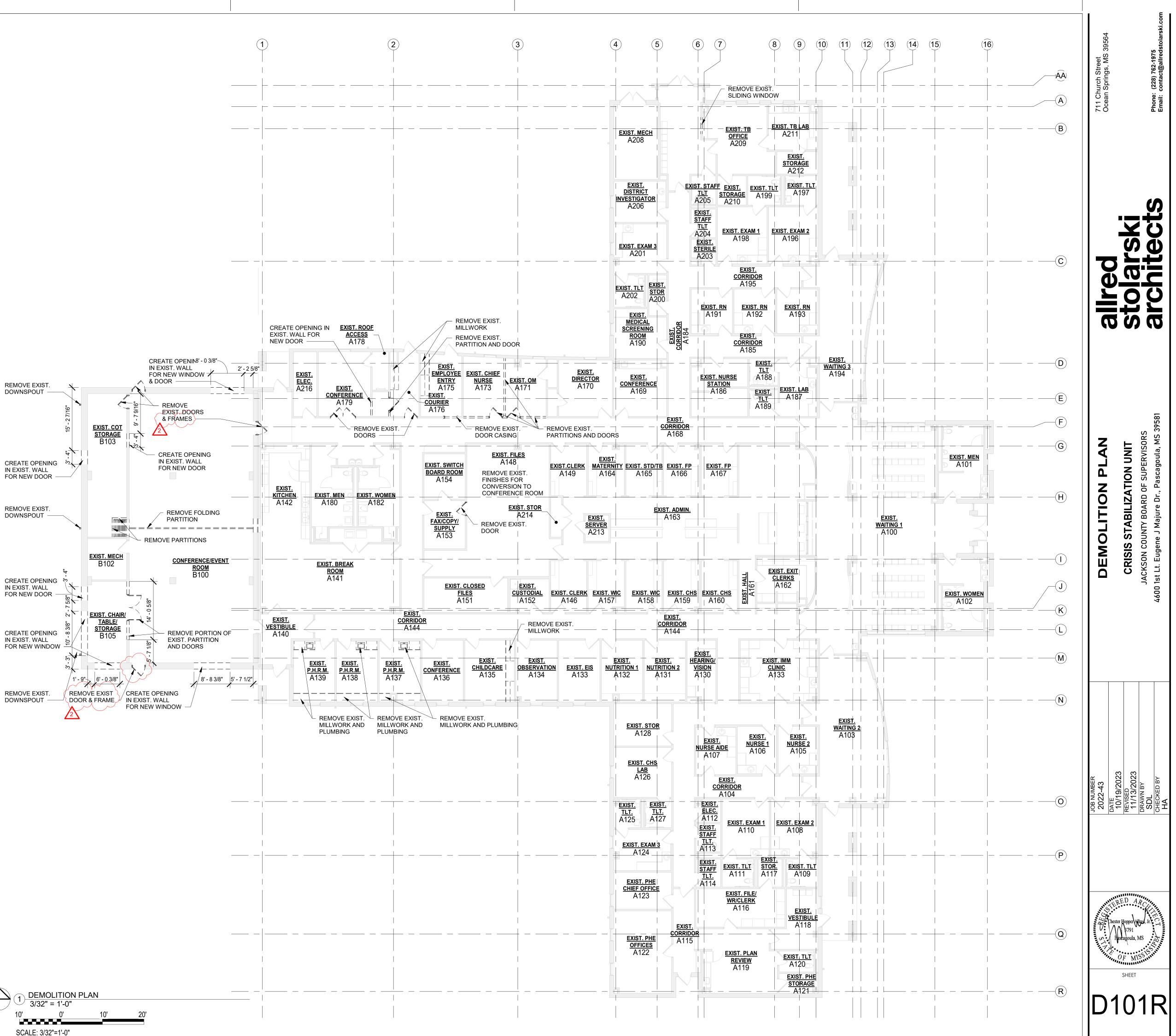
#### ELECTRICAL WELCON ELECTRICAL CONSULTANTS, PLLC

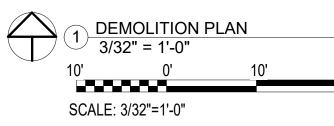
14116 CUSTOMS BOULEVARD, STE #111 GULFPORT, MS 39503 T (228) 822-8000 GREG WYROSDICK, P.E. greg@welconconsultants.com

711 Church Street Ocean Springs, MS 39564

#### **GENERAL WORK NOTES**

- ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
- SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING
- D. CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION. PATCH AND REPAIR DAMAGE TO ANY EXISTING ROOFING OR ADJACENT ROOF AREAS, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION
- THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOF PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT F CONDITION AT ALL TIMES. G. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND
- AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES
- AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOVING FURNISHINGS & Ι. EQUIPMENT AS REQUIRED TO COMPLETE WORK.





#### **GENERAL WORK NOTES**

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#### MODIFY CEILING THIS AREA FOR CUSTODIAL, RESTROOM & STORAGE UPDATES

REMOVE EXISTING DOWNSPOUT, SALVAGE FOR POSSIBLE REUSE **REMOVE EXISTING** BUILDING LIGHTING SALVAGE FOR POSSIBLE REUSE DEMO EXISTING BULKHEAD AND MOVABLE PARTITION **REMOVE EXISTING** 

DOWNSPOUT, SALVAGE FOR POSSIBLE REUSE

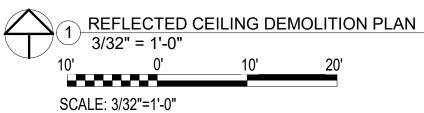
## EXIST. MECH

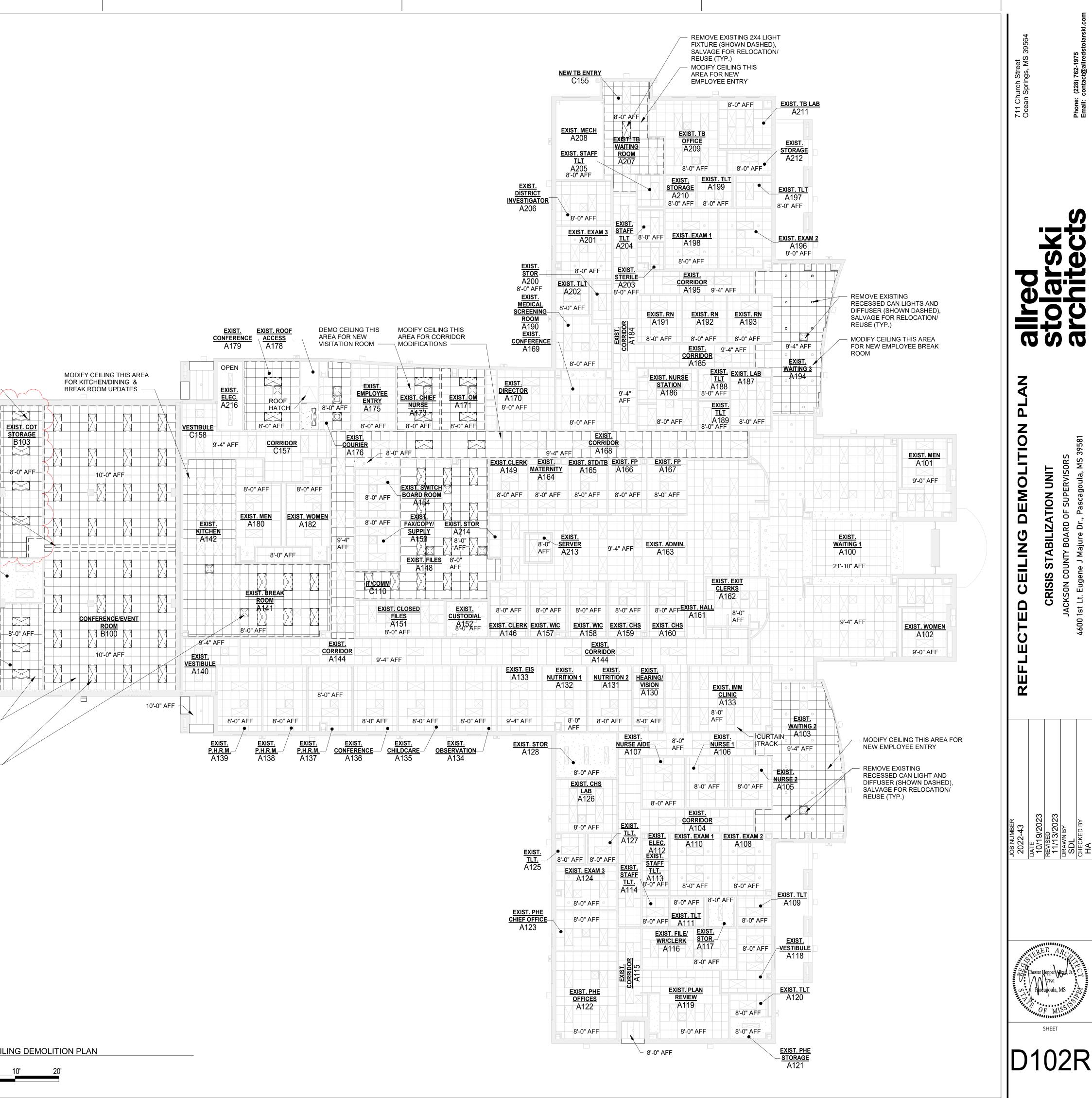
REMOVE EXISTING BUILDING LIGHTING, SALVAGE FOR POSSIBLE REUSE

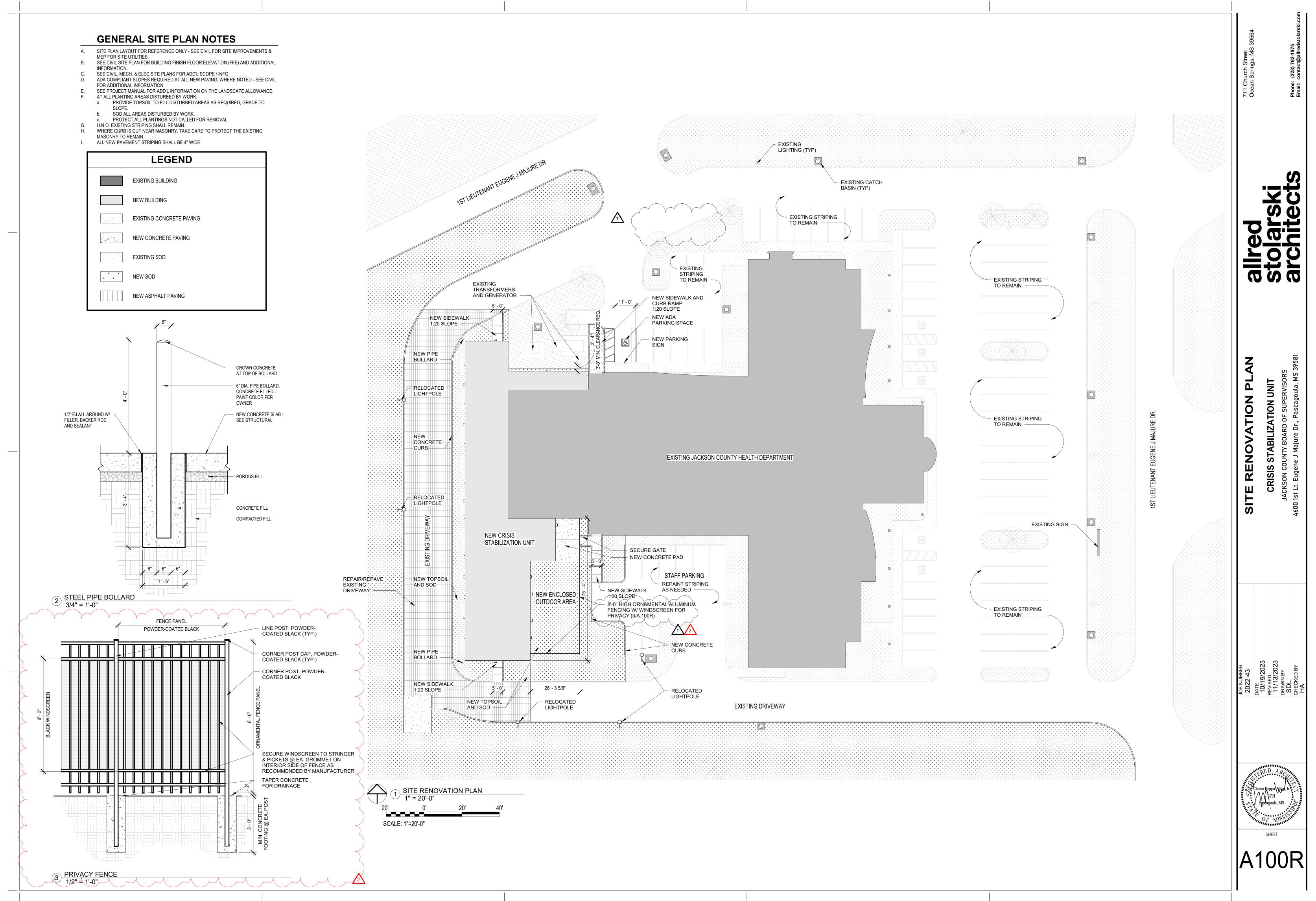
EXIST. CHAIR/ TABLE/ STORAGE B105

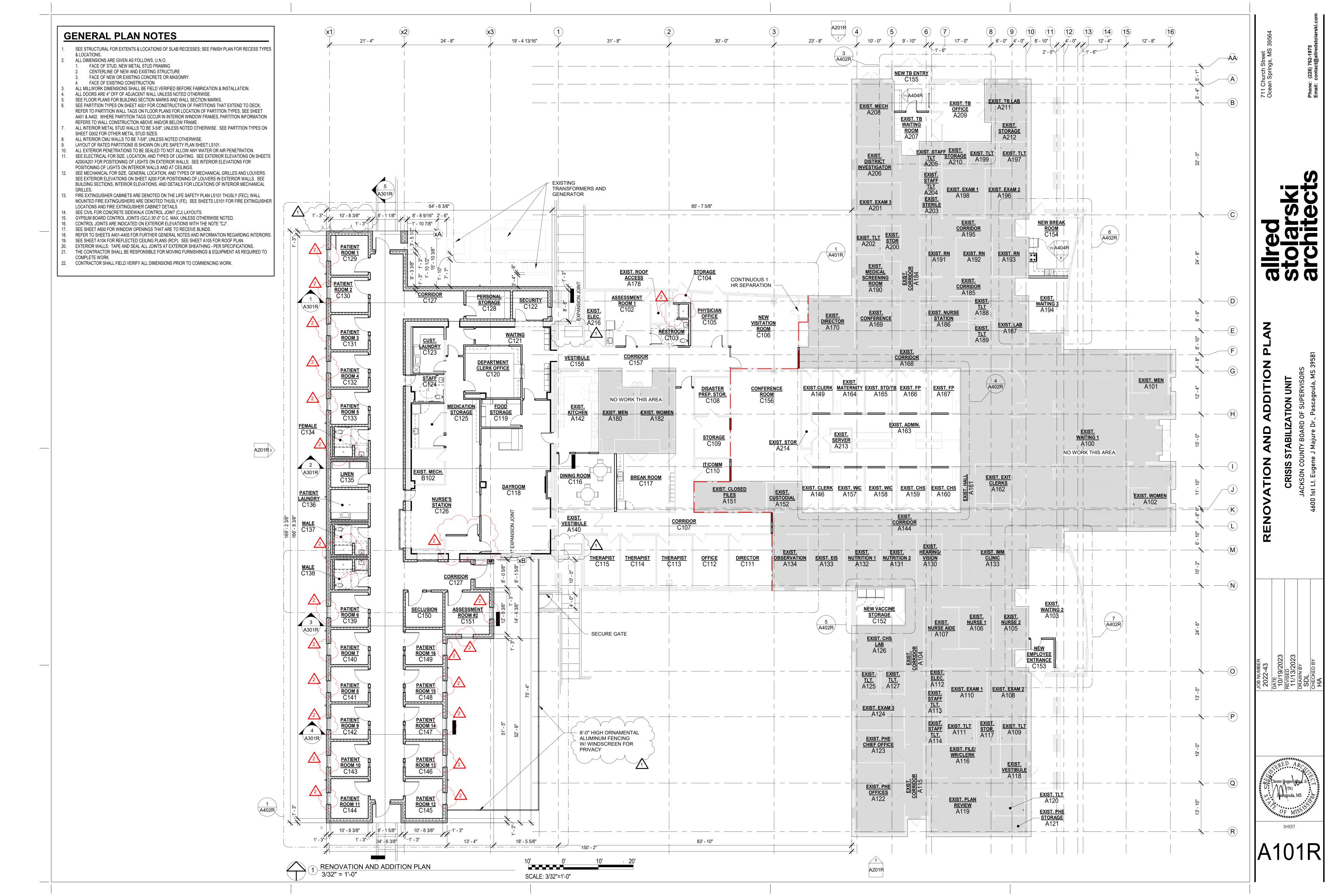
DEMO CEILING THIS AREA FOR DAYROOM & NURSE'S STATION UPDATES

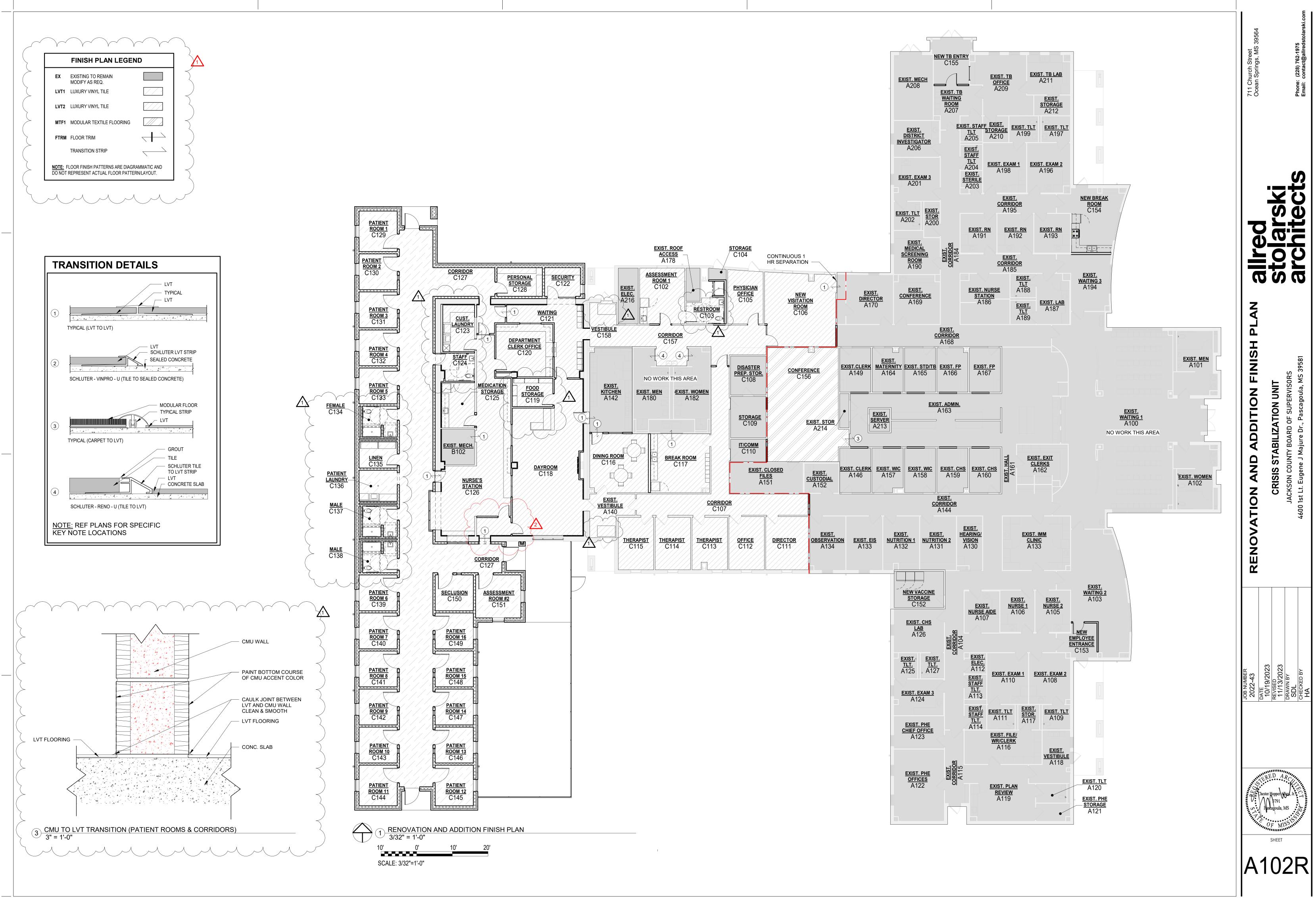
REMOVE EXISTING 2X4 LIGHT FIXTURES AND DIFFUSERS (SHOWN DASHED), SALVAGE FOR RELOCATION/REUSE (TYP.) –



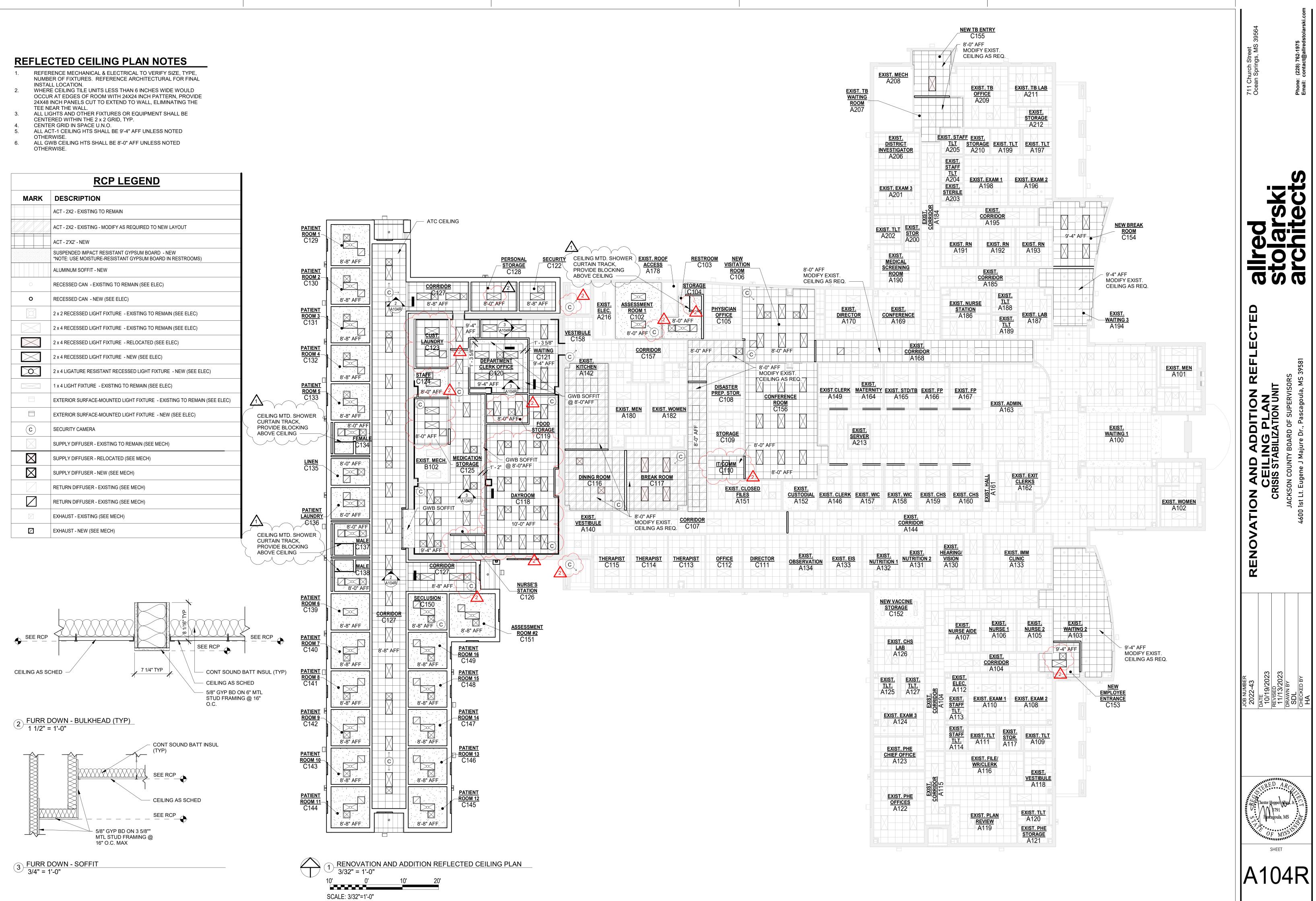








- INSTALL LOCATION.
- 24X48 INCH PANELS CUT TO EXTEND TO WALL, ELIMINATING THE TEE NEAR THE WALL
- CENTERED WITHIN THE 2 x 2 GRID, TYP.



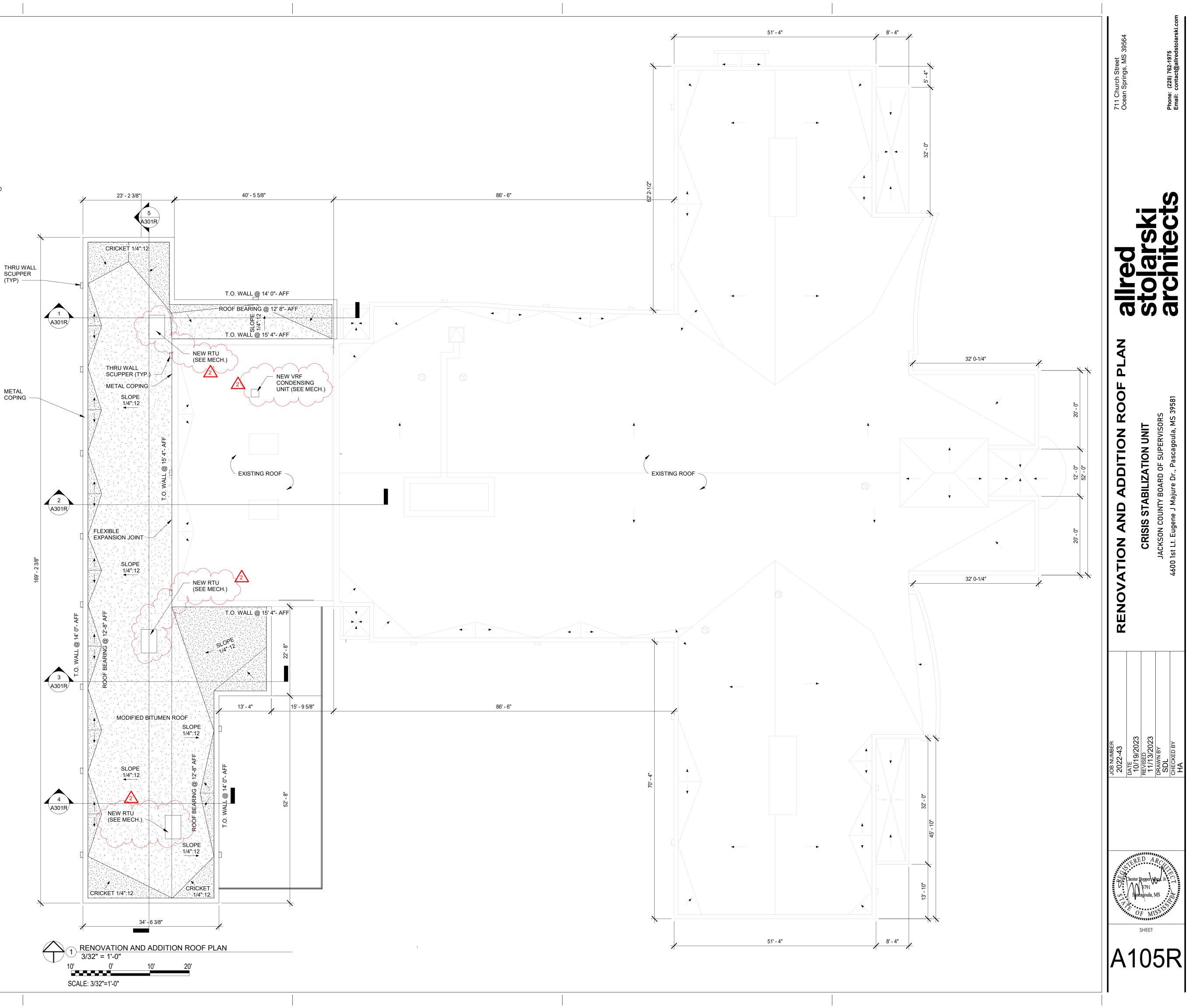
#### **ROOF PLAN NOTES**

- THE NEW ROOF SHALL MEET THE FOLLOWING PHYSICAL DESIGN REQUIREMENTS:
   a. THIS BUILDING IS IN A WIND-BORN DEBRIS REGION
   b. RISK CATEGORY: II
- c. DESIGN WINDSPEED: V <sub>ULT</sub> = 177 MPH
  2. REQUIRED INSULATION:
- a. PROVIDE FLAT INSULATION IN DEPTHS AS REQUIRED TO MEET R-25ci, U.N.O.
  b. PROVIDE TAPERED INSULATION TO PROVIDE SLOPES DRAWN AND AS REQ'D TO DRAIN ROOF SURFACE, U.N.O.
- 3. NEW ROOF SYSTEMS REQUIRED:
- A. MAIN ROOF: FLAT COMPOSITE DECK
- VAPOR BARRIER
- FLAT INSULATION BOARD TO R-25ci
  TAPERED INSULATION TO 1/8":12" SLOPE. 1/2" COVER BOARD

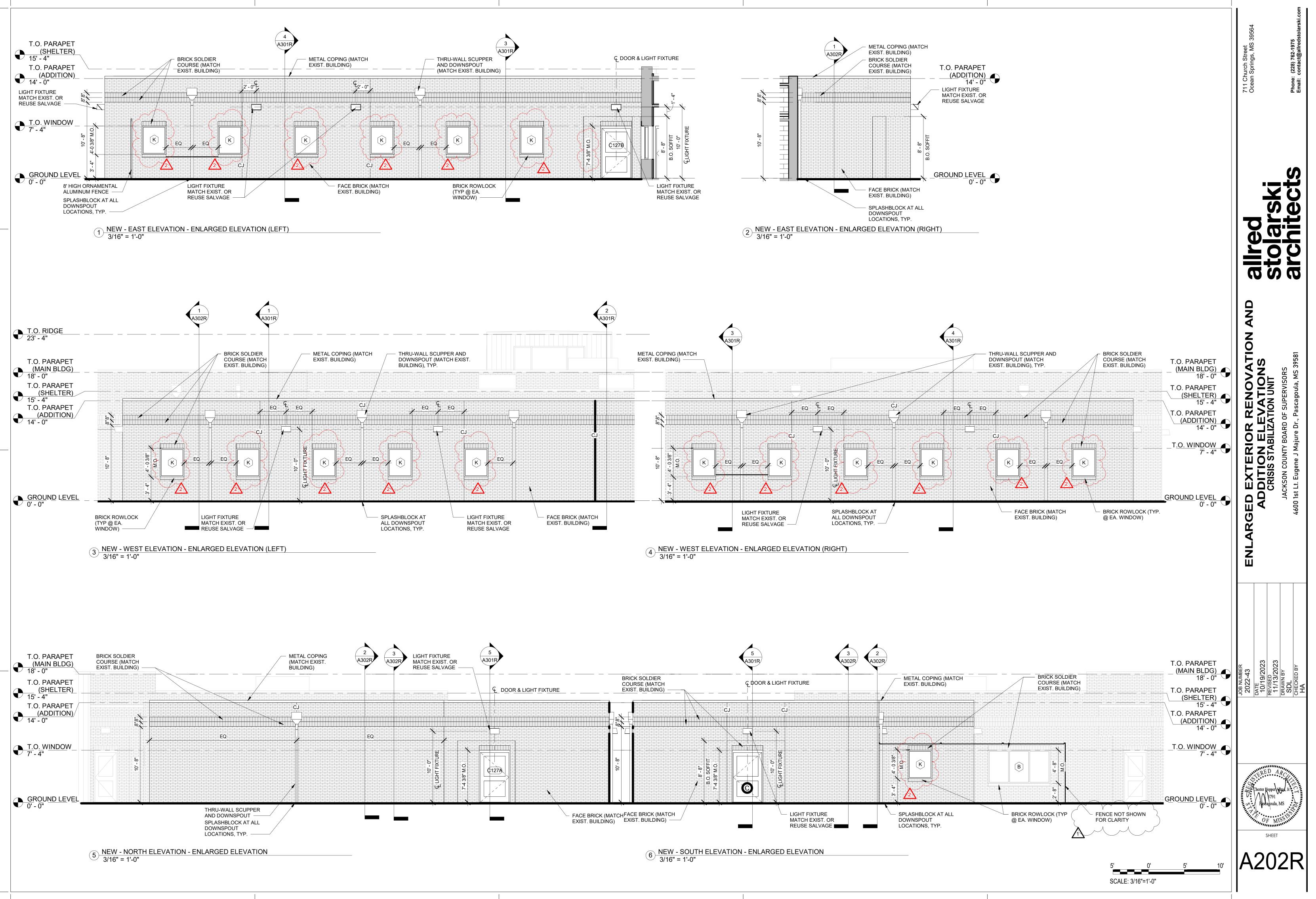
AND DEVICES REQUIRED FOR A COMPLETE INSTALLATION.

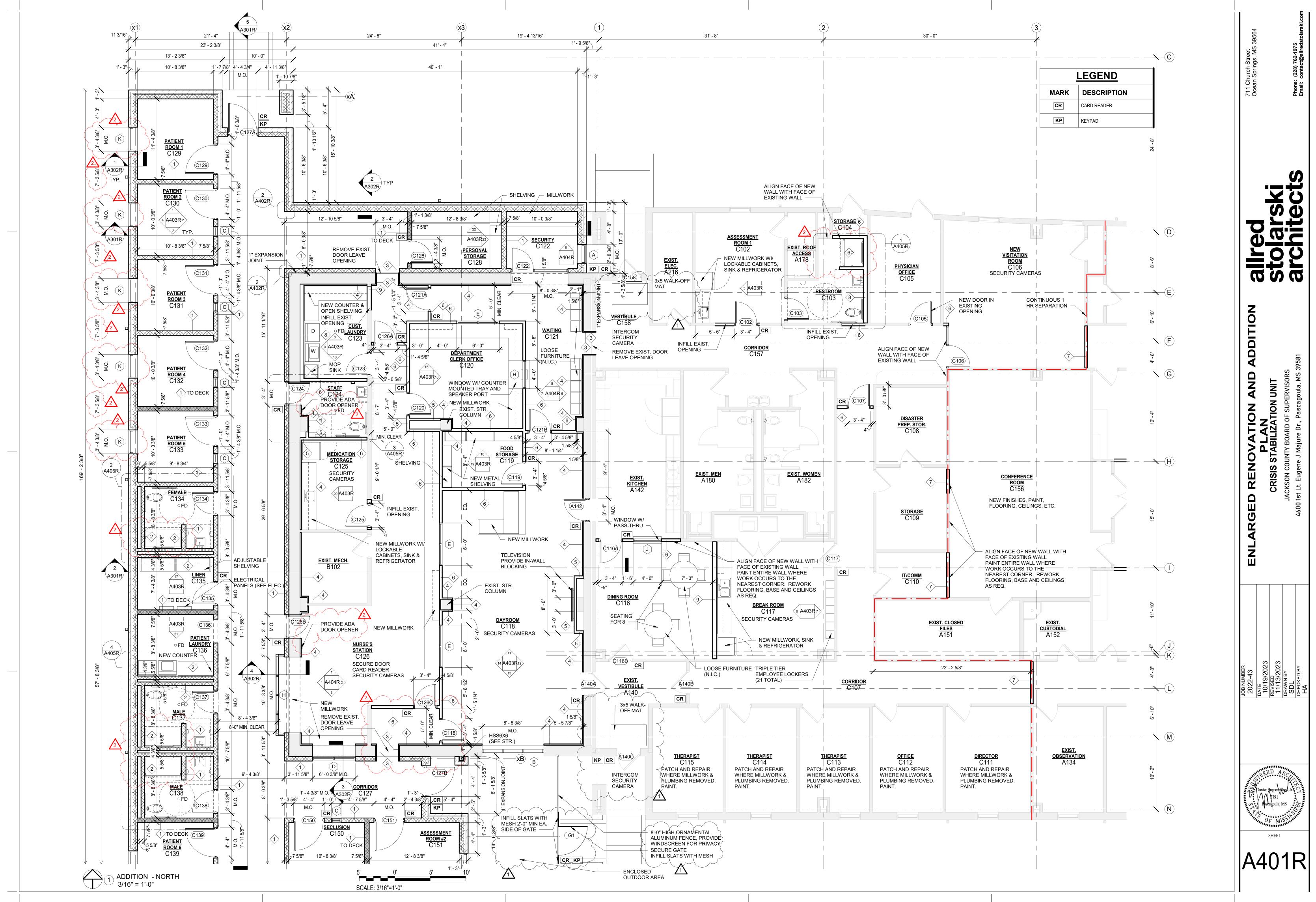
- BASE AND CAP SHEETS
- 4. NEW LEADER HEADS, DOWNSPOUT CONDUCTORS, THRU WALL SCUPPERS AND DOWNSPOUTS SHALL BE PREFINISHED TO MATCH EXISTING. (STORM SHELTER 361
- SYSTEM, V.I.F.)
  CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, PENETRATIONS, SLOPES AND CONDITIONS PRIOR TO COMMENCING WORK. 6. CONTRACTOR SHALL INSTALL NEW CURBS, NEW ROOF SYSTEMS, NEW EDGE METAL, FLASHING, COPING, ETC, AND ALL ACCESSORIES, EQUIPMENT, FIXTURES,

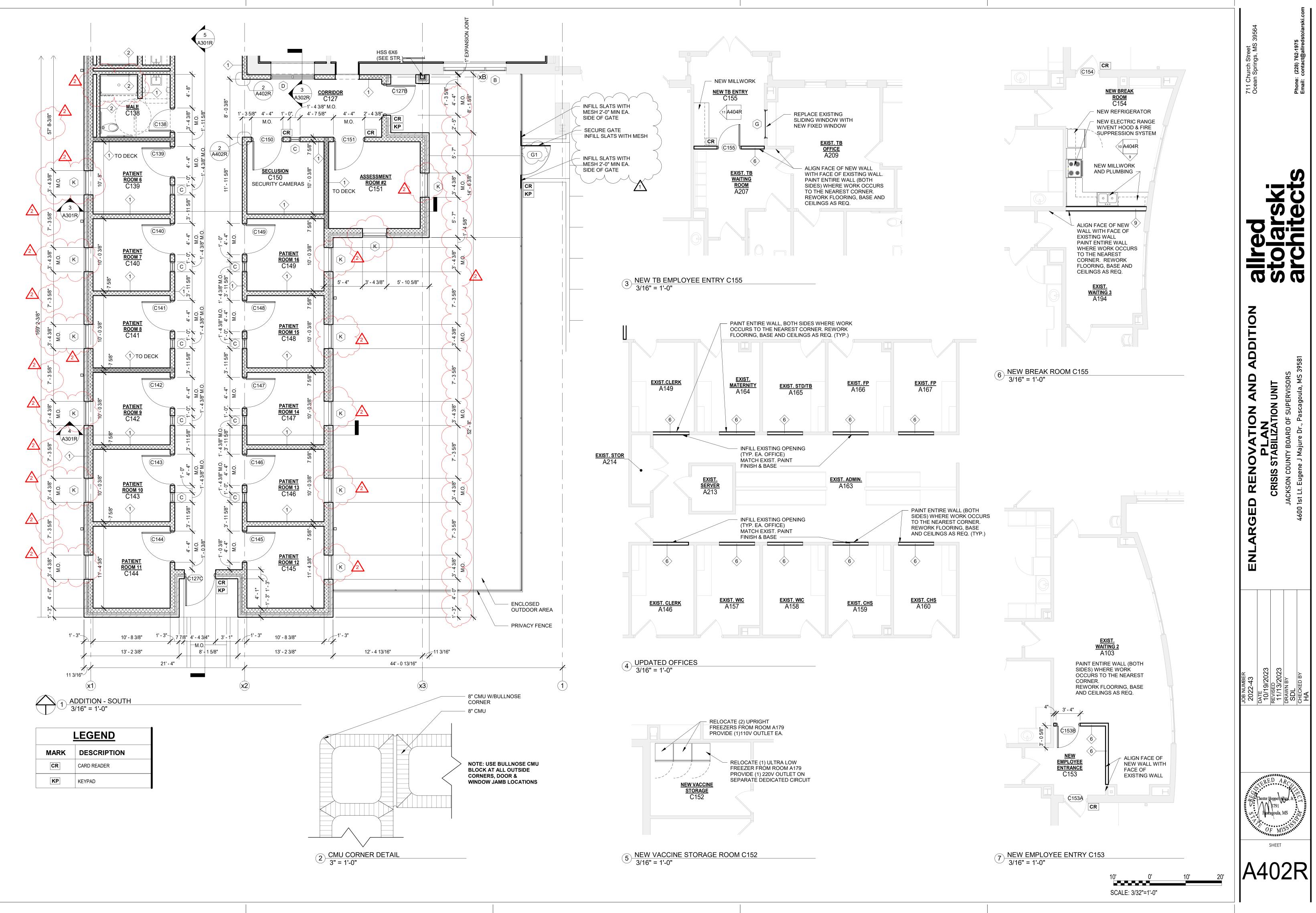
#### **ROOF LEGEND** DEFINITION MARK NEW MODIFIED BITUMEN ROOF EXISTING MODIFIED BITUMEN ROOF EF EXHAUST FAN PH PIPE HOOD PP PITCH POCKET PV VENT STACK OR EXHAUST VENT RD ROOF DRAIN ROOF TOP UNIT RTU VTR VENT THRU ROOF

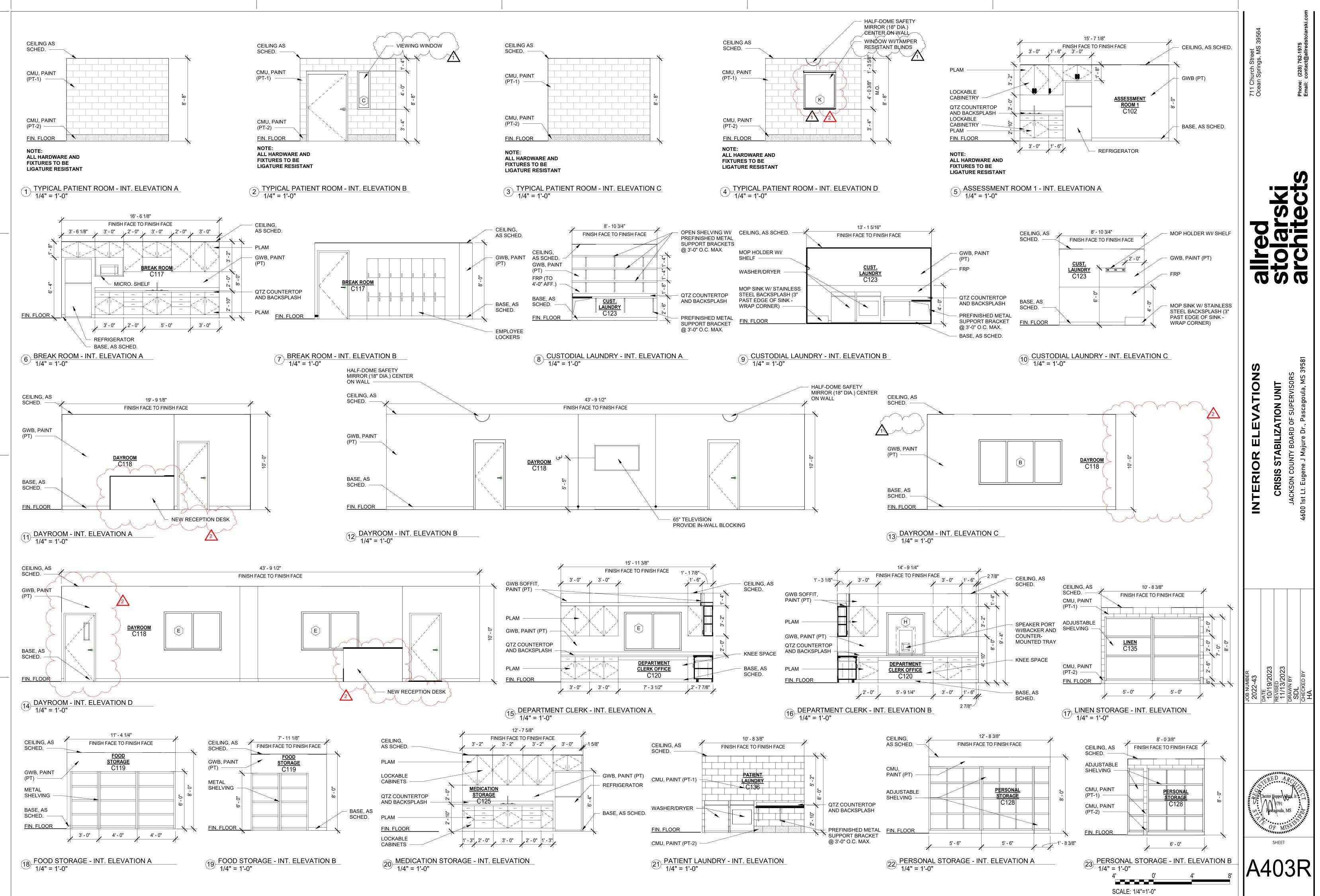


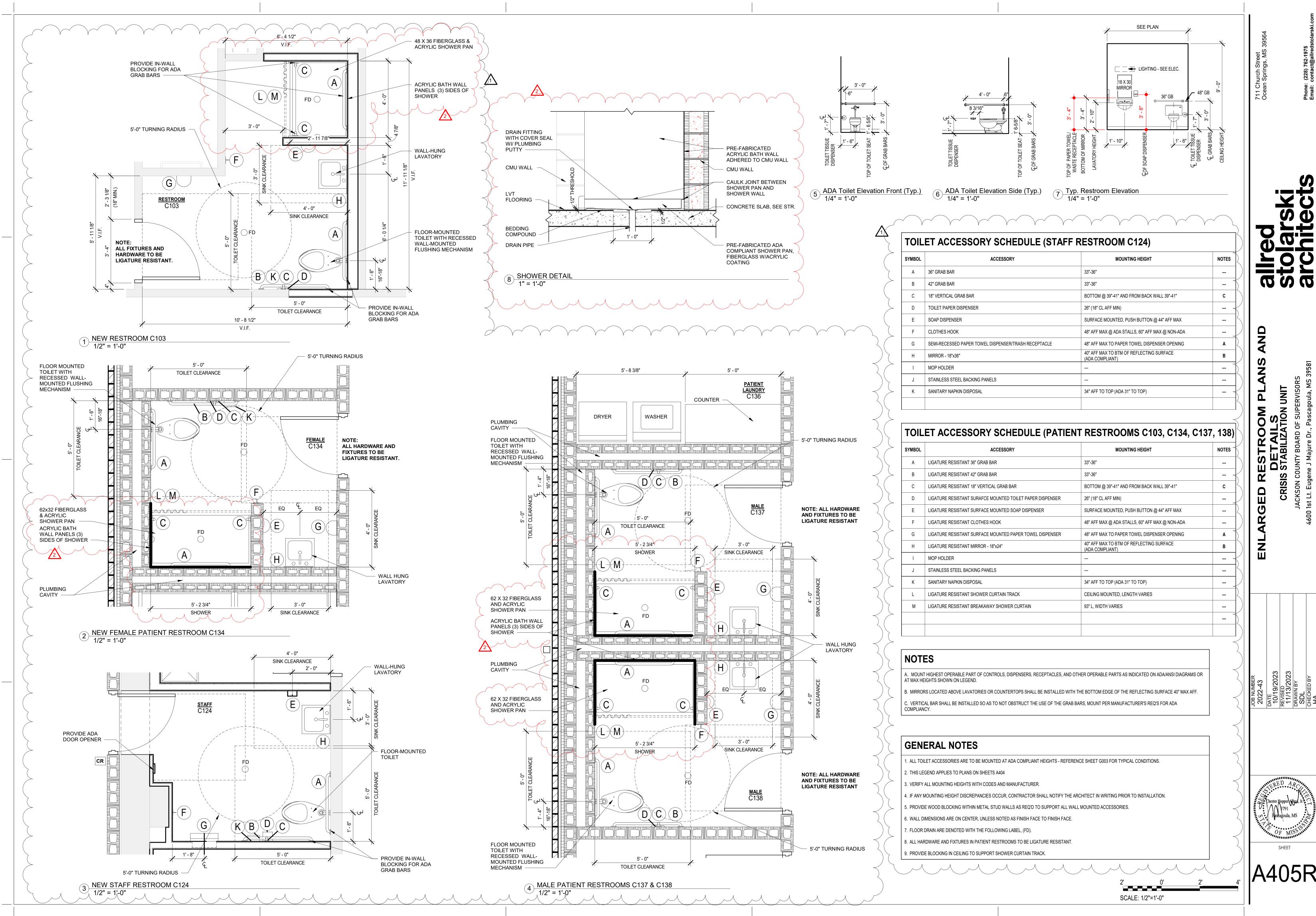


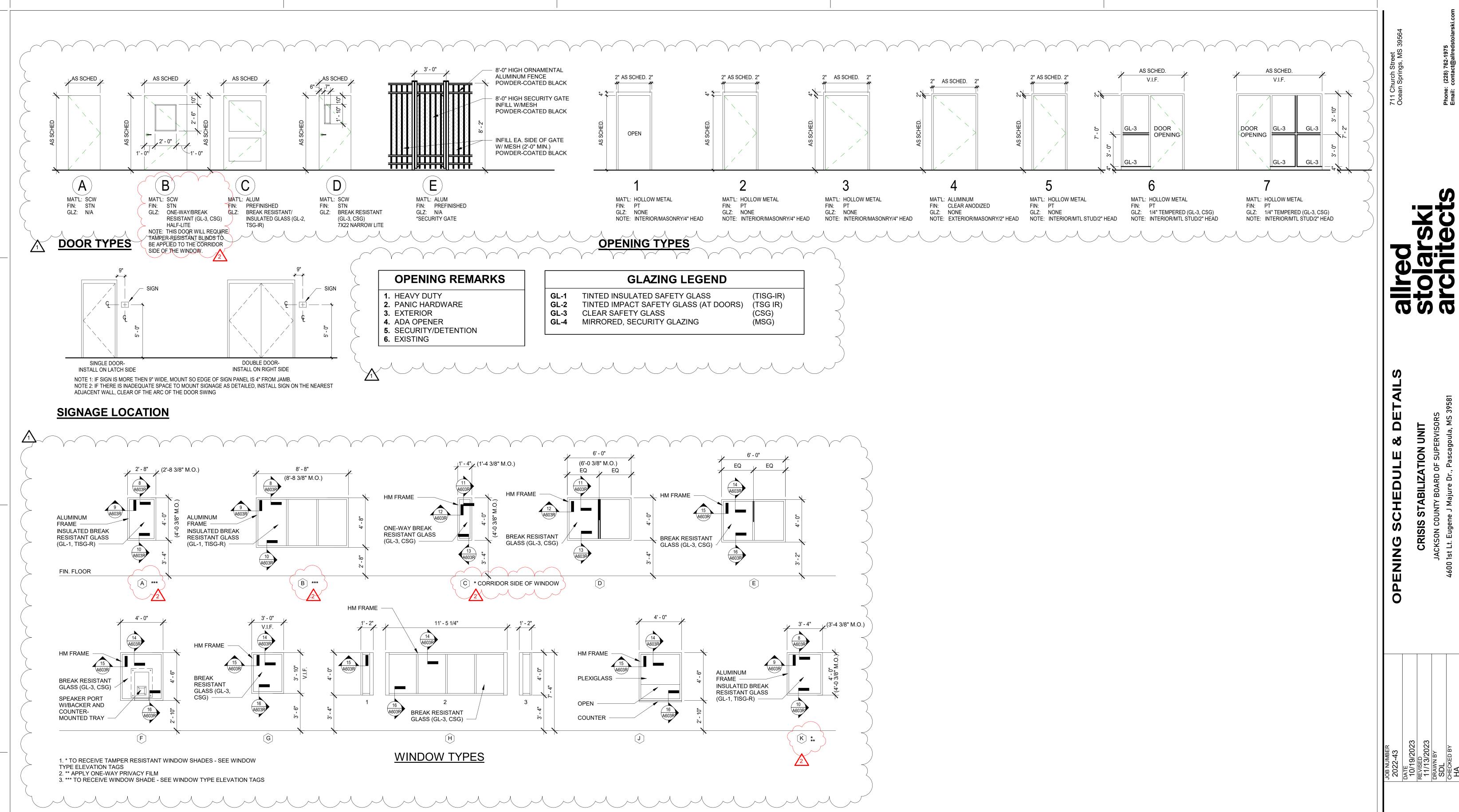




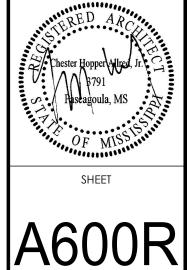








JOB NUMBER 2022-43 DATE 10/19/2023 REVISED 11/13/2023 DRAWN BY SDL CHECKED BY HA					
	JOB NUMBER	DATE	REVISED	DRAWN BY	снескер ву
	2022-43	10/19/2023	11/13/2023	SDL	НА



								[	DOOR SCHEI	DULE					
			DOOR					FI	RAME						
OPENING	SINGLE/ PAIR W	нт		TYPE	GLAZING	FRAME TYPE	FRAME MTL		DETAILS	DETAILS DETAILS JAMB	DETAILS SILL	FIRE RATING/STC	HARDWARE	ACCESS CONTROL	DOOR
A140A	S 3' - 0"	7' - 0" 0' - 1											5	CARD READER	
	$\frac{3}{8} = \frac{3' - \theta''}{2}$												5	CARD READER	
A140B		7'-0" 0'-1		$\nabla$						4	$\rightarrow$				
	S 3' - 0"	7' - 0" 0' - 1	A								J. A		3	CARD READER, KEYPAD, INTERCOM	→ <sup>γ</sup> 3,6 <sup>γ</sup>
	Ś 3'-0"	7'-0" 0'-1			\ \		HM		4/A603	_5/A603			4	CARD/READER	
C102	S 3' - 0"	7' - 0" 0' - 1			(	-	HM		6/A603	7/A603			6	CARD READER	
C103	S 3' - 0"	7' - 0" 0' - 1			{		HM		6/A603	7/A603			1		
C105	S 3' - 0"	7' - 0" 0' - 1			{		HM		6/A603	7/A603			8		
C106	S 3' - 0"	7' - 0" 0' - 1			~ \		HM	GL-3	6/A603	7/A603			9		
C107	S 3' - 0"	7' - 0" 0' - 1			GL-3 2	5	HM	A	6/A603	7/A603			10	CARD READER	
C116A	S 3' - 0"	7' - 0" 0' - 1	1 3/4" WD	D (	GL-3	5	HM	Z <sup>2</sup>	6/A603	7/A603			4	CARD READER	
C116B	S 3' - 0"	7' - 0" 0' - 1											5	CARD READER	6
Ç117	S 3'-0"	7'-0" 0'-1	1 3/4"		<u> </u>				-7-				11	CARD READER	6
C118	<b>S 3' - 0</b> "	7' - 0 0' - 1	1 3/ <mark>4</mark> " WD	D	$-\frac{\gamma}{\lambda}$	5	HM		6/A603	7/A603	Х Х Х		Х		) >
C119	S 3'-0"	7'-0" 0'-	1 3/4" WD	A		5	HM		6/A603	7/A603			12	CARD READER	
C120	S 3' - 0"	7' - 0" 0' - 1	1 3/4" WD	D	GL-3 (	5	HM		6/A603	7/A603			12	CARD READER	(
C121A	S 3' - 0"	7' - 0" 0' - 1	1 3/4" WD	DY	GL-3 5	5	НМ		6/A603	7/A603			10	CARD READER	
C121B	S 3' - 0"	7' - 0" 0' - 1			GL-3	5	НМ		6/A603	7/A603			10	CARD READER	
C122	S 3' - 0"	7' - 0" 0' - 1				7	НМ	GL-3	6/A603	7/A603			12	CARD READER	
C123	S 3' - 0"	7' - 0" 0' - 1			!	5	HM		6/A603	7/A603			13		·
C124	S 3' - 0"	7' - 0" 0' - 1				- \	HM		4/A603	5/A603			14	CARD READER	> 4
C125	S 3' - 0"	7' - 0" 0' - 1		-	~	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	HM		6/A603	7/A603			12	CARD READER	
C126A	S 3' - 0"	7' - 0" 0' - 1			GL-3	V	HM		6/A603	7/A603			12	CARD READER	
C126B	S 3' - 0"	7' - 0" 0' - 1			GL-3 Z= 3		HM		4/A603	5/A603			10	CARD READER	
								/ / /							<u> </u>
C126C		7' - 0" 0' - 1			/		HM		6/A603	7/A603			12	CARD READER	
C127A	S 4' - 0"	7' - 0" 0' - 1			GL-2	+	AL		1/A603	2/A603				CARD READER, KEYPAD	3
C127B	S 4' - 0"	7' - 0" 0' - 1			GL-2	4	AL		1/A603	2/A603			1	CARD READER, KEYPAD	3
C127C	S 44-0"	7' - 0" 0' - 1			GL-2	4	AL		1/A602	2/A602			1	CARD READER, KEYPAD	( 3
C128	S Z1 3'-0"	7' - 0" 0' - 1		- ( - )	) { 2		HM		4/A603	5/A603			17	CARD READER	
C129	S 4'-0"	7' - 0" 0' - 1		\ \	GL-3	-	HM		4/A603	5/A603			15		
C130	S 4' - 0"	7' - 0" 0' - 1				-	HM		4/A603	5/A603			15		
C131	S 4' - 0"	7' - 0" 0' - 1			(	-	HM		4/A603	5/A603			15		
C132	S 4' - 0"	7' - 0" 0' - 1		-	(	-	HM		4/A603	5/A603			15		
C133	S 1 4 - 0"	7' - 0" 0' - 1	1 3/4" WD	A		3	HM		4/A603	5/A603			15		
C134	S 3' - 0"	7' - 0" 0' - 1	1 3/4" WD	A		2	HM		4/A603	5/A603			16		
C135	S _ 3' - 0" _	/  7' - 0"  0' - 1	1 3/4" WD	A	( 2	<u>2</u> /	HM		4/A603	5/A603			17	CARD READER	(
C136	- 0'-0"	0'-0"		<u>↓</u>	A	1, //	HM		4/A603	5/A603					
C137	S 3'-0"	7' - 0" 0' - 1	1 3/4" WD	А		2	HM		4/A603	5/A603			16		
C138	S 3'-0"	7' - 0" 0' - 1	1 3/4" WD	Α	(2	2	HM		4/A603	5/A603			16		<b></b>
C139	S 4' - 0"	7' - 0" 0' - 1	1 3/4" WD	A		3	HM		4/A603	5/A603			15		
C140	S 4' - 0"	7' - 0" 0' - 1	1 3/4" WD	A	(	3	НМ		4/A603	5/A603			15		(
C141	S 4' - 0"	7' - 0" 0' - 1	1 3/4" WD	A	(	3	НМ		4/A603	5/A603			15		
C142	S 4' - 0"	7' - 0" 0' - 1			(;	3	НМ		4/A603	5/A603			15		
	S 4' - 0"	7' - 0" 0' - 1					HM		4/A603	5/A603			15		
C144	S 4' - 0"	7' - 0" 0' - 1			GL-3	3	HM		4/A603	5/A603			15		
C145	S 4' - 0"	7' - 0" 0' - 1			GL-3	3	HM		4/A603	5/A603			15		
C146	S 4' - 0"	7' - 0" 0' - 1					HM		4/A603	5/A603			15		
C140	S 4' - 0"	7' - 0" 0' - 1		Δ	<u> </u>	- 3	HM		4/A603	5/A603			15		
C148	S 4' - 0"	7' - 0" 0' - 1			(		HM		4/A603	5/A603			15		
C140	S 4' - 0"	7'-0" 0'-1					HM		4/A603	5/A603			15		
C149 C150	S 4' - 0"	7 - 0 0 - 1					HM		4/A603	5/A603			15	CARD READER	
C150 C151	S 4' - 0"						HM						18		
		7' - 0" 0' - 1				נ			4/A603	5/A603			19 2	CARD READER	
C153A	S 3' - 0"	7' - 0" 0' - 1			- <del>*-</del>								۲ 10	CARD READER	3,6
C153B	S 3' - 0"	7' - 0" 0' - 1			GL-3 :	נ	HM		6/A603	7/A603			10	CARD READER	
C154	S 3' - 0"	7' - 0" 0' - 1		- ( )	(2)								2	CARD READER	3,6
C155	S 3' - 0"	7'-0" 0'-1	$\rightarrow$		GL-3		HM		6/A603	7/A603			10		
C158	S 3' - 0" S 3' - 0"	7' - 0" 0' - 1	1 3/4"	- <u>-</u>	<u> </u>	Y	Y	<u>Y</u>	Y   Y	Y	<u>-</u> μΥ	<sup>Y</sup> <sup>Y</sup>	3 <sup>1</sup>	ČARD READER, KEYPAD, INTERCOM	

711 Church Street				Prone: (zző) /6z-19/5 Email: contact@allredstolarski.com	
DOOR SCHEDULE		CRISIS STABILIZATION UNIT	JACKSON COUNTY BOARD OF SUPERVISORS	4600 1st Lt. Eugene J Majure Dr., Pascagoula, MS 39581	
JOB NUMBER 2022-43	DATE 10/19/2023	REVISED 11/13/2023	DRAWN BY SDL	CHECKED BY HA	
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